

Attachment

3

**AN ORDINANCE TO AMEND THE CITY OF MOBILE DOWNTOWN
DEVELOPMENT DISTRICT REGULATIONS SET FORTH IN APPENDIX
A OF THE UNIFIED DEVELOPMENT CODE, CHAPTER 64 OF THE
MOBILE CITY CODE**

Sponsored by: Mayor Spiro N. Cheriogotis

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MOBILE, ALABAMA, that the **Downtown Development District** regulations set forth in **Appendix A** of the **Unified Development Code, Chapter 64**, adopted by the Mobile City Council on July 12, 2022 (Ordinance 64-017-2022), as amended be, and the same hereby is, amended as follows:

SECTION ONE:

A. Section 1. General Provisions, paragraph **D.2.** is hereby amended so that it now reads in its entirety as follows:

2. Terms used throughout the DDD code shall be interpreted in accordance with the definitions in *Section 9.B, Definitions*, and definitions in the UDC. The definitions in *Section 9.B* shall take precedence over other definitions in the UDC. Other terms shall be interpreted using their common meaning.

B. Section 2. Administrative Procedures, paragraph **B.1.(c)(1)** is hereby amended so that it now reads in its entirety as follows:

- (1) The director shall review the application, receive recommendations from other relevant staff such as the city engineer or historic development staff, as applicable, and based on the review and recommendations determine whether the application complies with the standards in the DDD code, *including any administrative deviations approved in accordance with subsection (d) below.*

C. Section 2. Administrative Procedures, paragraph **B.1.(c)(3)** is hereby amended so that it now reads in its entirety as follows:

(3) If the director determines that the application does not comply with the standards in the DDD code, the director shall advise the applicant of the aspects of the application that do not comply with standards in the DDD code. The applicant may resubmit plans with revisions or may apply to the Board of Adjustment for a variance with respect to the standards in the DDD code to which the applications does not comply, in accordance with *Section 2.B.6, Variance*.

D. Section 2. Administrative Procedures, paragraph **B.1.(d)** is hereby amended so that it now reads in its entirety as follows:

(d) Administrative Deviations

(1) During the administrative review process, the director may approve applications that contain the following minor deviations from the standards in the DDD code, provided the director determinates the deviations are consistent with the purpose of the DDD in Section 1.A, Purpose, and will not cause a significant negative impact on nearby properties and uses:

- a. An increase or decrease of no more than 15 percent in the numerical standards that apply to awnings, balconies, canopies, galleries, stoops, terraces, and signs;*
- b. A decrease of no more than five percentage points in minimum transparency requirements;*
- c. Use alternative building materials not listed in Section 7, Building Design and Material Standards, provided the applicant has provided documentation the alternative building materials are considered equivalent or better than the approved building materials in terms of durability (the use of regionally-available materials is preferred); or*
- d. Request the use of understory trees in lieu of overstory trees for parking lot interior plantings in accordance with Section 5.B.1, Parking Lot Landscaping, to accommodate below-ground or above-ground utilities or dimensional site constraints.*

(2) Notwithstanding subsection (1) above, the director may not authorize any other deviations from the standards in the DDD code, including the lot size, setback, or building height standards.

E. Section 2. Administrative Procedures, paragraph **B.1.(e)** is hereby amended so that it now reads in its entirety as follows:

(e) Architectural Review Board Review and Decision (Optional)

For applications involving property in a historic district, following initial review by the director, the application shall be submitted to the Architectural Review Board (ARB) for consideration of a certificate of appropriateness in accordance with Section 44-77 of the City Code. If ARB requires changes to the application as a condition of issuance of a certificate of appropriateness, the application shall be resubmitted to the director for further review in accordance with subsection (c) above.

F. Section 2. Administrative Procedures, paragraph **B.1.(f)** is hereby added so that it now reads in its entirety as follows:

(f) Re-Review Following Permitting

(1) Following permitting, the director shall review any changes made to the project that may impact the project's compliance with the standards in the DDD code and receive recommendations from other relevant staff such as the city engineer or historic development staff, as applicable.

(2) Based on the review and recommendations, if the director determines that the application as modified following permitting complies with the terms of the DDD code, the director shall notify the applicant, and the applicant may continue with the project.

(3) Based on the director's review and recommendations, if the director determines that the application as modified following permitting does not comply with the standards in the DDD code, the director shall advise the applicant of the aspects of the application that do not comply with standards in the DDD code. The applicant may resubmit plans with revisions or may apply to the Board of Adjustment for a variance with respect to the applicable standards, in accordance with subsection 6 below.

G. Section 3. Zoning Sub-Districts, paragraph **A.1.** is hereby amended so that it now reads in its entirety as follows:

1. The zoning sub-districts in *Table 3.1: Zoning Sub-Districts Established* are hereby established:

H. Section 3. Zoning Sub-Districts, paragraph **A.1.**, **Table 64-15-3.1** is hereby renamed and amended so that it now reads in its entirety as follows:

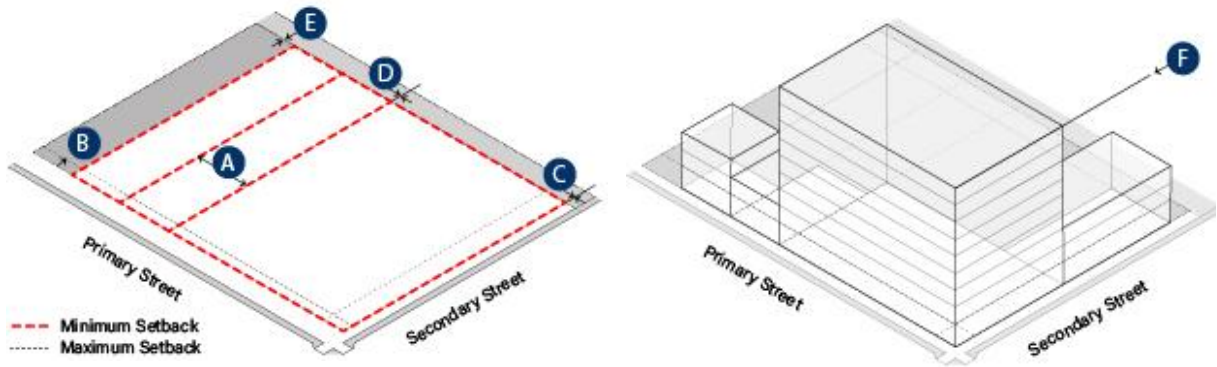
Table 3.1: Zoning Sub-Districts Established	
District	Name
T-6	T-6: Mixed-Use High Intensity Transect
T-5.2	T-5.2: Mixed Use Medium Intensity Transect
T-5.1	T-5.1: Mixed Use Medium Intensity Transect
T-4	T-4: Mixed Use Low Intensity Transect
T-3	T-3: Low Density Residential Transect
Municipal	Municipal district
Open	Open space district
SD-WH	SD-WH: Special District – Warehouse
<i>SD</i>	<i>SD: Special District</i>

I. Section 3. Zoning Sub-Districts, paragraph **A** is hereby amended to add a new subsection **5** so that it now reads in its entirety as follows:

5. *Land within an SD district is required to be rezoned to another zoning sub-district, in accordance with Section 2.B.2, Regulating Plan Amendment, before development may commence on the land.*

J. Section 3. Zoning Sub-Districts, paragraph B.2.(e), Table 3.2 is hereby amended so that it now reads in its entirety as follows:

Table 3.2: T-6 Dimensional and Intensity Standards



Site features

Lot area (sf), min		No minimum
Lot width (ft), min max	A	14 No maximum
Building per lot, max		No maximum
Building coverage (% of site), max		No maximum

Setback, primary buildings

Primary frontage (ft), min max	B	0 10 [2] [3]
Secondary frontage (ft), min max	C	0 12
Side (ft), min	D	No minimum
Rear (ft), min	E	No minimum

Setback, outbuildings

Primary frontage (ft)		To rear of the facade at ground floor, unrestricted upper stories
Secondary frontage (ft)		To rear of the facade at ground floor, unrestricted upper stories
Side (ft), min		No minimum
Rear (ft), min		No minimum

Building Form

Height, max	F	No maximum [1]
Parking structure		80 feet [4]

Frontage Types ● = Permitted

Lawn	
Terrace	
Stoop	●
Common Entry	
Pedestrian forecourt	●
Vehicular forecourt	●
Gallery	●
Shopfront	●

Transparency

	Minimum Required Transparency	Location
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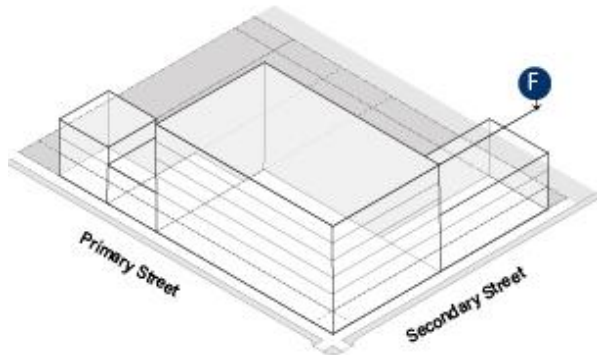
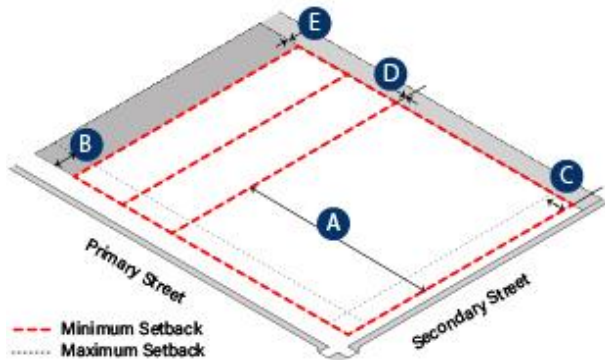
Ground floor commercial uses	30%	Between two (2) and twelve (12) feet above the abutting sidewalk
All other building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

[1] The maximum height of outbuildings shall not exceed the height of the principal building.
 [2] The setback may match the setback of an adjacent building along the same street frontage.
 [3] The maximum setback may be increased by 12 feet along Government Street.
 [4] See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.

K. Section 3. Zoning Sub-Districts, paragraph **B.3.(f) Additional Standards** is deleted in its entirety.

L. Section 3. Zoning Sub-Districts, paragraph B.3.(e), Table 3.3 is hereby amended so that it now reads in its entirety as follows:

Table 3.3: T-5.2 Dimensional and Intensity Standards



Site features

Lot area (sf), min		No minimum
Lot width (ft), min max	A	14 180
Building per lot, max		No maximum
Building coverage (% of site), max		No maximum

Setback, primary buildings

Primary frontage (ft), min max	B	0 5 [3]
Secondary frontage (ft), min max	C	0 12 [3]
Side (ft), min	D	No minimum
Rear (ft), min	E	No minimum

Setback, outbuildings

Primary frontage (ft), min	To rear of the facade
Secondary frontage (ft), min	To rear of the facade
Side (ft), min	No minimum
Rear (ft), min	No minimum

- [1] The maximum height of outbuildings shall not exceed the height of the principal building.
- [2] The maximum parking structure height is 80 feet for parking structures that front the west side of Claiborne Street between Civic Center Drive and Canal Street, and 60 feet elsewhere. *See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.*
- [3] The setback may match the setback of an adjacent building along the same street frontage, and the *maximum primary frontage* setback may be extended an additional 12 feet along Government St.

Building Form

Height, max	F	5 stories [1]
Fronting Bienville Square		8 stories [1]
Fronting west side of Claiborne St. between Civic Center Dr. and Canal St		16 stories [1]
Parking structure		60 feet [2]

Frontage Types ● = Permitted

Lawn	
Terrace	●
Stoop	●
Common Entry	●
Pedestrian forecourt	●
Vehicular forecourt	
Gallery	●
Shopfront	●

Transparency

Transparency	Minimum Required Transparency	Location
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Ground floor commercial uses	30%	Between two (2) and twelve (12) feet above the abutting sidewalk
All other building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

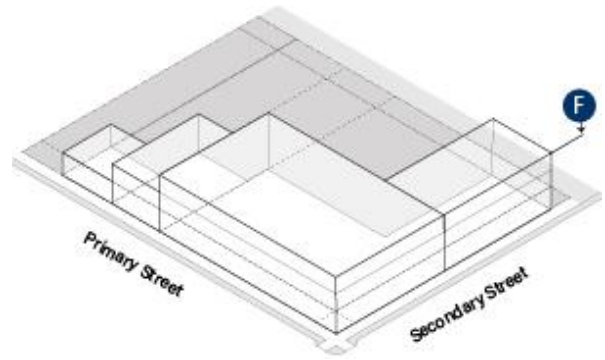
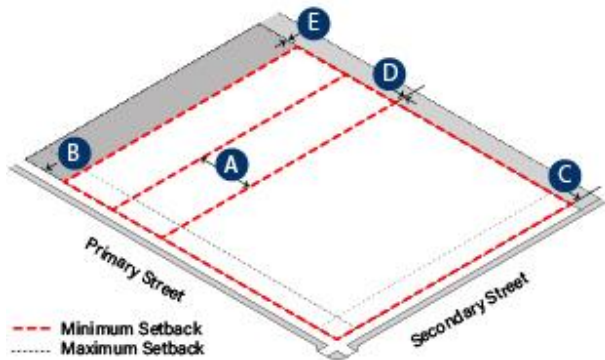
M. Section 3. Zoning Sub-Districts, paragraph **B.4.(a)** is hereby amended so that it now reads in its entirety as follows:

(a) Generally

The T-5.1 sub-district regulations are designed to support mixed-use development at medium-low intensity, with a walkable urban form and a mixture of residential and commercial uses.

N. Section 3. Zoning Sub-Districts, paragraph B.4.(e), Table 3.4 is hereby amended so that it now reads in its entirety as follows:

Table 3.4: T-5.1 Dimensional and Intensity Standards



Site features

Lot area (sf), min		No minimum
Lot width (ft), min max	A	14 180
Building per lot, max		No maximum
Building coverage (% of site), max		No maximum

Setback, primary buildings

Primary frontage (ft), min max	B	0 12 [2]
Secondary frontage (ft), min max	C	0 12 [2]
Side (ft), min	D	No minimum
Rear (ft), min	E	No minimum

Setback, outbuildings

Primary frontage (ft), min	To rear of the facade
Secondary frontage (ft), min	To rear of the facade
Side (ft), min	No minimum
Rear (ft), min	No minimum

[1] The maximum height of outbuildings shall not exceed the height of the principal building.
 [2] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may extend an additional 12 feet along Government St.
 [3] See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.

Building Form

Height, max	F	3 stories [1]
Parking structure		34 feet [3]

Frontage Types ● = Permitted

Lawn	
Terrace	●
Stoop	●
Common Entry	●
Pedestrian forecourt	●
Vehicular forecourt	
Gallery	●
Shopfront	●

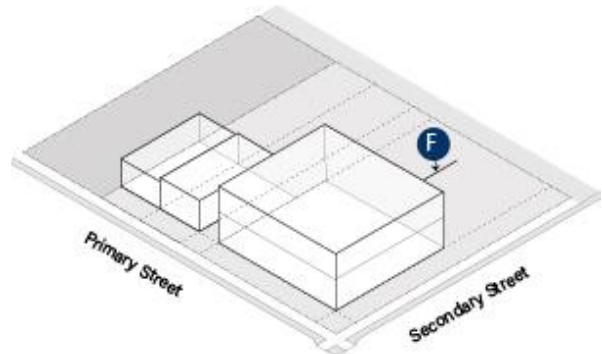
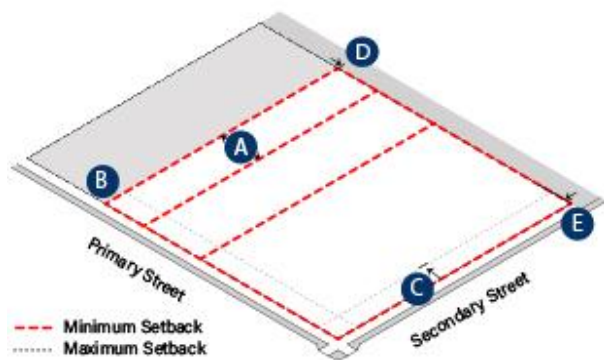
Transparency

	Minimum Required Transparency	Location
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Ground floor commercial uses	30%	Between two (2) and twelve (12) feet above the abutting sidewalk
All other building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

O. Section 3. Zoning Sub-Districts, paragraph B.5.(e), Table 3.5 is hereby amended so that it now reads in its entirety as follows:

Table 3.5: T-4 Dimensional and Intensity Standards



Site features		
Lot area (sf), min		No minimum
Lot width (ft), min max	A	18 120
Building per lot, max		3
Building coverage (% of site), max		75

Setback, primary buildings		
Primary frontage (ft), min max	B	0 12 [2]
Secondary frontage (ft), min max	C	0 12 [2]
Side (ft), min	D	No minimum
Rear (ft), min	E	No minimum

Setback, outbuildings		
Primary frontage (ft), min		To rear of the facade
Secondary frontage (ft), min		To rear of the facade
Side (ft), min		No minimum
Rear (ft), min		No minimum

Building Form		
Height, max	F	2 stories [1]

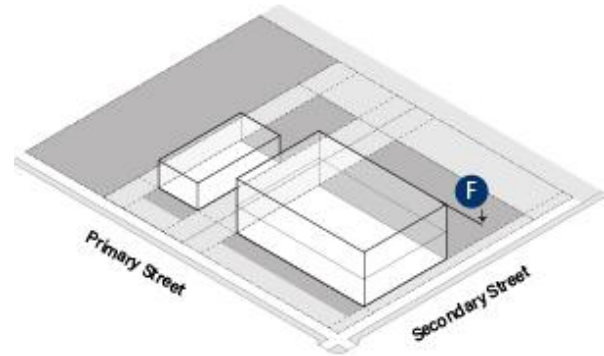
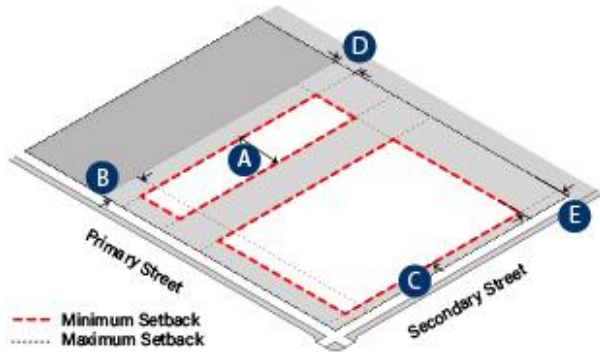
Frontage Types ● = Permitted		
Lawn	●	
Terrace	●	
Stoop	●	
Common Entry	●	
Pedestrian forecourt		
Vehicular forecourt		
Gallery		
Shopfront	●	

Transparency	Minimum Required Transparency	Location
All building facades facing the street	20%	Per floor
Shopfronts – Ground Floor	50%	Calculated separately for each frontage

[1] The maximum height of outbuildings is two stories.
 [2] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may extend an additional 12 feet along Government St.

P. Section 3. Zoning Sub-Districts, paragraph B.6.(e), Table 3.6 is hereby amended so that it now reads in its entirety as follows:

Table 3.6: T-3 Dimensional and Intensity Standards



Site features

Lot area (sf), min		No minimum
Lot width (ft), min max	A	40 120
Along the east side of Lawrence St. between Civic Center Dr. and Canal St		30 120
Building per lot, max		2
Building coverage (% of site), max		75

Setback, primary buildings

Primary frontage (ft), min max	B	10 18 [1] [3]
Secondary frontage (ft), min max	C	5 No maximum [3]
Side (ft), min	D	10 [3]
Rear (ft), min	E	20 [3]

Setback, outbuildings

Primary frontage (ft), min		To rear of the facade
Secondary frontage (ft), min		To rear of the facade
Side (ft), min		No minimum
Rear (ft), min		No minimum

Building Form

Height, max	F	2 stories [2]
Along the east side of Lawrence St. between Civic Center Dr. and Canal St		3 stories [2]

Frontage Types ● = Permitted

Lawn	●
Terrace	●
Stoop	
Common Entry	
Pedestrian forecourt	
Vehicular forecourt	
Gallery	

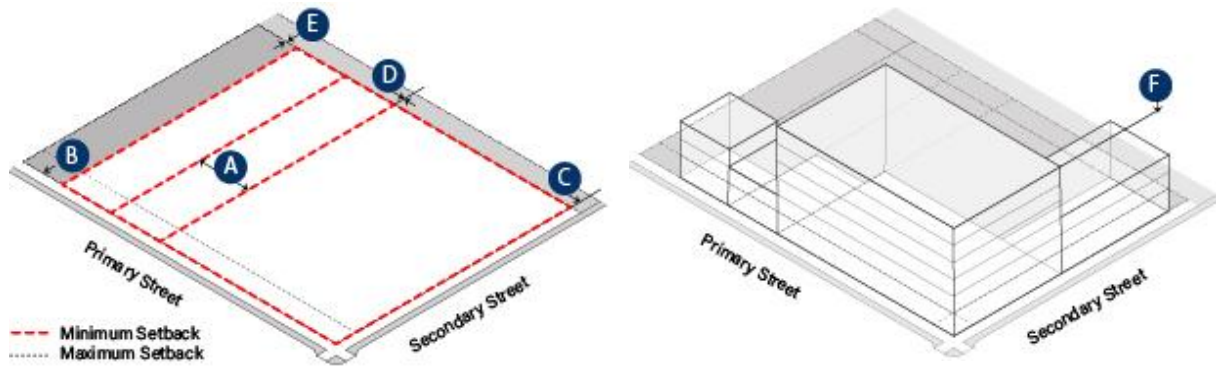
Transparency Minimum Required Transparency Location

All building facades facing the street	20%	Per floor
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[1] The setback may match the setback of an adjacent building along the same street frontage, and the maximum primary frontage setback may extend an additional 12 feet along Government St.
 [2] The maximum height of outbuildings is two stories.
 [3] Along the east side of Lawrence Street between Canal Street and Civic Center, Drive, the primary frontage and secondary frontage setbacks shall not exceed 12 feet, and the side and rear setback minimums do not apply provided fire rating requirements are met.

Q. Section 3. Zoning Sub-Districts, paragraph C.3.(e), **Table 3.9** is hereby amended so that it now reads in its entirety as follows:

Table 3.9: SD-WH District Dimensional and Intensity Standards



Site features

Lot area (sf), min		None
Lot width (ft), min max	A	None
Building per lot, max		None
Building coverage (% of site), max		No max

Setback, primary buildings

Primary frontage (ft), min max	B	0 10 [1]
Secondary frontage (ft), min max	C	None
Side (ft), min	D	None
Rear (ft), min	E	None

Setback, outbuildings

Primary frontage (ft), min		None
Secondary frontage (ft), min		None
Side (ft), min		None
Rear (ft), min		None

Building Form

Height, max	F	6 stories
Parking structure		60 feet [2]

Frontage Types ● = Permitted

Lawn	●
Terrace	●
Stoop	●
Common Entry	●
Pedestrian forecourt	●
Vehicular forecourt	●
Gallery	
Shopfront	●

Transparency

<i>All building facades facing the street [3]</i>	20%	Per floor
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[1] The maximum setback may extend an additional 12 feet along Government St.
 [2] See additional exceptions for parking structures attached to buildings in Section 9.A, Building Height.
 [3] Transparency requirement does not apply to buildings fronting Beaugard Street between Saint Joseph Street, North Water Street and North Lawrence Street

R. Section 5. Development Standards, paragraph **A.2.(d)** is hereby amended so that it now reads in its entirety as follows:

(d) Surface parking lots shall be placed to the rear of the façade of the principal building, except in Municipal, Open, and SD-WH sub-districts, where the location is not restricted.

S. Section 5. Development Standards, paragraph **A.2.(e)** is hereby added so that it now reads in its entirety as follows:

(e) Parking lots and structures shall be masked along frontages in accordance with Section 5.B.1(a), Perimeter Masking.

T. Section 5. Development Standards, paragraph **A.3.(a)** is hereby amended so that it now reads in its entirety as follows:

(a) Off-street parking shall only be accessed from a secondary frontage, or B-street, and is prohibited to be accessed from the primary frontage, or A-street, except as provided below.

U. Section 5. Development Standards, paragraph **A.3.(d)** is hereby amended so that it now reads in its entirety as follows:

(d) All curb cuts shall meet the standards in Chapter 57, Article IV, Driveways, of the City Code. The number of curb cuts for a lot shall not exceed the maximum number by sub-district in Table 5.2.

V. **Section 5. Development Standards**, paragraph **A.3.(d)**, **Table 5.2** is hereby amended so that it now reads in its entirety as follows:

Table 5.2: Parking Lot Specifications			
District	Minimum Primary Frontage Parking Access Width (ft)	Maximum Driveway Width (ft)	Maximum Number of Curb Cuts <i>Per Frontage</i>
T-6	72	25 [1]	1 [1]
T-5.2	54	25 [1]	1 [1]
T-5.1	54	25 [1]	1 [1]
T-4	42	10	1
T-3	42	10	1
SD-WH	54	25 [1]	1 [1]
Municipal	No minimum	No maximum	No maximum
Open	No minimum	No maximum	No maximum
<p>[1] On the west side of Claiborne Street between Civic Center Drive and Canal Street, driveway width shall not exceed 36 feet, and two curb cuts are permitted per lot.</p> <p>[2] <i>Except as permitted in table note [1], a lot with one primary frontage and one secondary frontage is allowed one curb cut to the secondary frontage. A lot with more than one secondary frontage is permitted one curb cut per secondary frontage.</i></p>			

W. **Section 5. Development Standards**, paragraph **A.4.** is hereby amended so that it now reads in its entirety as follows:

4. Off-Street Loading *Docks* and Service Areas

Off-street loading *docks* and service areas with a combined width of 30 feet may be incorporated into all frontages on land in the SD-WH sub-district, and in all other sub-districts in accordance with the following:

- (a) In secondary frontages, towards the rear of the property; or
- (b) In primary frontages, if the property has no secondary frontage and the width of the primary frontage is 120 feet or greater.

X. **Section 5. Development Standards**, paragraph **B.1.(a)** is hereby amended so that it now reads in its entirety as follows:

(a) Perimeter Masking

(1) A surface parking lot along a frontage shall be masked by one of the following:

- a. *A liner building; or*
- b. One of the following types of screens:

1. A metal fence at least three feet in height that is planted with evergreen hedges, evergreen vines, or other evergreen plant materials. Shrubs for hedges shall be at least three feet in height at planting, and other plantings shall be of a species and planted in a manner that would form an evergreen barrier at least as effective as a hedge; or
 2. A masonry wall, with or without vegetative plantings.
- (2) *A parking structure along a frontage shall be masked by one of the following:*
- a. *Along A-street frontages, a liner building covering the entire width of the structure, excluding any points of access or egress, or 70 percent of a width of the structure at ground floor frontage.*
 - b. *Along B-street frontages, a liner building in accordance with subsection a above, or one of the following types of screens:*
 1. *A metal fence at least three feet in height that is planted with evergreen hedges, evergreen vines, or other evergreen plant materials. Shrubs for hedges shall be at least three feet in height at planting, and other plantings shall be of a species and planted in a manner that would form an evergreen barrier at least as effective as a hedge; or*
 2. *A masonry wall, with or without vegetative plantings.*

Y. Section 5. Development Standards, paragraph **B.2.(c)** is hereby added so that it now reads in its entirety as follows:

(c) Rooftop Equipment

Equipment on rooftops such as turbine vents, skylights, satellite dishes, and television antennae shall be located and arranged so as not to be visible from a street or sidewalk.

Z. Section 5. Development Standards, paragraph **C.2.(a)(1)** is hereby amended so that it now reads in its entirety as follows:

- (1) Fences shall be made of wood picket, wood slat, *or* wood lattice, *or* a wrought iron style made of iron, steel, or aluminum.

AA. Section 5. Development Standards, paragraph **D.5.** is hereby amended so that it now reads in its entirety as follows:

5. Permitted Signs

Signs are permitted on land in a sub-district in accordance with Table 5.3: Sign Types Permitted by Sub-District, subject to the standards in Table 5.4: Permitted Signs and subsection 6 below. *See also Figure 5.1: Sign Standard Illustration.*

BB. Section 5. Development Standards, paragraph D.5., Table 5.4 is hereby amended so that it now reads in its entirety as follows:

Table 5.4: Permitted Signs			
Sign Type	Number	Area, Maximum	Copy
Sandwich board	1 per business, shall be removed outside of business hours	2 feet wide by 3 feet tall	No restrictions
Diagonal corner	1 per building at corners only, attached at a 45-degree angle	3 feet wide by 15 feet tall	No restrictions
Fabric awning	1 per awning	8 inches tall by awning length	No restrictions
Marquee	1 per <i>building</i>	4 feet plus width of entrance(s) on primary structure, maximum height of marquee structure is 4 feet	No restrictions
Window sign	1 per window (not including temporary signage within window)	30% of window area to which sign is affixed	Applied decal or painted within window
Building	On buildings less than 10 stories in height, 1 per building, within the frieze or upper portion of the storefront if there is no frieze	3 feet in height by façade width (8 feet in height on buildings fronting Claiborne Street between Civic Center Drive and Canal Street)	No restrictions
Upper building	See Section 5.D.6(c), Upper Building		
Hanging blade	1 per business	10 square feet each face	No restrictions
Individual storefront	1 per business	2 feet tall by store length (or to fit within a frieze or architectural feature)	No restrictions
Internal neon	1 per window (not including temporary signage within window)	30% of window area to which sign is affixed	Neon or LED within window
Painted wall	1 per secondary frontage and wall internal to a lot but visible from sidewalks	No restrictions	No restrictions
Yard blade	1 per lot with home business or in non-residential use	5 square feet	No restrictions
Wall plaque	1 per business (located on building) 1 per parking lot (located on an architectural feature of parking lot screening required in Section 5.B.1(a))	<i>SD-WH, Municipal, and Open: 8 square feet</i> T-3: 2 square feet T-4: 2 square feet T-5: 8 square feet T-6: 8 square feet	No restrictions
Wayfinding sign	1 per block or site, located on right-of-way or private property	5 feet in height 20 square feet of signage per face 50 square feet of signage on all faces	No restrictions
Monument sign	1 per site	6 feet in height 8 feet in width 25 square feet of signage per face 50 square feet of signage on all faces	No restrictions
Freestanding sign	1 per site	8 feet in height 5 feet in width 20 square feet of signage per face 40 square feet of signage on all faces	No restrictions
Banner	1 per site	4 feet by 8 feet	No restrictions
Parking lot sign	1 per driveway	10 feet in height (including mount) 3 feet wide by 2 feet high in sign area 6 square feet of signage	No restrictions

CC. Section 5. Development Standards, paragraph D.5. is hereby amended with the addition of the graphic of *Figure 5.1: Sign Standard Illustration* so that it now reads in its entirety as follows:

Figure 5.1: Sign Standard Illustration
SIGNAGE STANDARDS



DD. Section 6. Frontage Standards, paragraph B.3. is hereby amended so that it now reads in its entirety as follows:

3. If buildings have multiple frontages or multiple buildings are located on one property, the same frontage type shall be selected for all frontages.

EE. Section 6. Frontage Standards, paragraph B., Table 6.2 is hereby amended so that it now reads in its entirety as follows:

Table 6.2: Building Frontage Types Allowed							
Frontage Types	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH
Lawn			●	●	●	●	●
Terrace		●	●	●	●	●	●
Stoop	●	●	●		●	●	●
Common Entry		●	●		●	●	●
Pedestrian forecourt	●	●			●	●	●
Vehicular forecourt	●				●	●	●
Gallery	●	●			●	●	
Shopfront	●	●	●		●	●	●

● = Permitted

FF. Section 6. Frontage Standards, paragraph E.2.(c), Table 6.5 is hereby amended so that it now reads in its entirety as follows:

Table 6.5: Additions to Existing Buildings in T-5 Sub-District	
Standard	Value
Finished floor elevation	Match existing structure, or up to 30 inches above average grade along the front property line.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Permitted along front property line and side lot lines to façade of building, with maximum height of four feet and with or without masonry piers. Wood fences prohibited in T-5.2 sub-district
Walkways	One per building entrance with a maximum width of five feet, <i>except if a stoop frontage or common entry frontage is provided in accordance with Section 6.H, Stoop Frontage Type, or Section 6.I, Common Entry Frontage Type, respectively</i>
Paving	Frontage may be paved up to 100 percent of area, using unit masonry or concrete
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 600 square feet.
Shopfront	Permitted
Gallery	Permitted

GG. Section 6. Frontage Standards, paragraph E.2.(d), Table 6.6 is hereby amended so that it now reads in its entirety as follows:

Table 6.6: Additions to Existing Buildings in T-6 Sub-District	
Standard	Value
Finished floor elevation	Match existing structure, or up to 30 inches above average grade along the front property line.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Permitted along front property line and side lot lines to façade of building, with maximum height of four feet and with or without masonry piers. Wood fences prohibited
Paving	Frontage may be paved up to 100 percent of area, using unit masonry or concrete
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 1,600 square feet.
Shopfront	Permitted
Gallery	Permitted

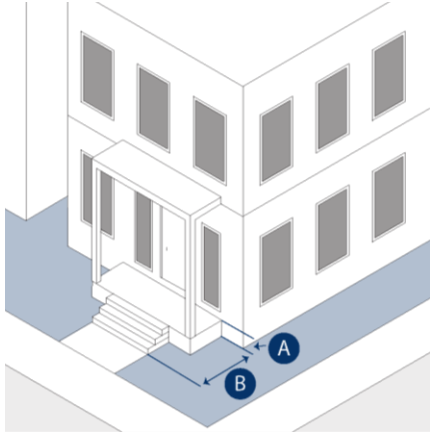
HH. Section 6. Frontage Standards, paragraph E.2.(e), Table 6.7 is hereby amended so that it now reads in its entirety as follows:

Table 6.7: Additions to Existing Buildings in Municipal and Open Sub-Districts	
Standard	Value
Finished floor elevation	Match existing structure, up to 30 inches above average grade along the front property line, or as required to meet minimum flood elevation requirements.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Permitted along front property line and side lot lines to façade of building, with maximum height of ten feet and with or without masonry piers.
Paving	Frontage may be paved up to 100 percent of area, using unit masonry, concrete, asphalt, or aggregate
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 1,600 square feet.
Shopfront	Permitted
Gallery	<i>Permitted</i>

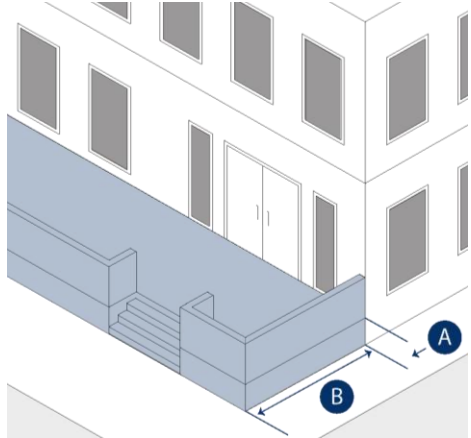
II. Section 6. Frontage Standards, paragraph **E.2.(f)**, **Table 6.8** is hereby amended so that it now reads in its entirety as follows:

Table 6.8: Additions to Existing Buildings in SD-WH Sub-District	
Standard	Value
Finished floor elevation	Match existing structure, or up to 30 inches above average grade along the front property line.
Front yard terrace	Raised up to 20 inches above sidewalk grade, to form a terrace
Fence or wall	Iron fence permitted along front property line and side lot lines to façade of building, with maximum height of six feet and with or without masonry piers.
Paving	Frontage may be paved up to 100 percent of area, using unit masonry or concrete
Courtyard (<i>primary entry only</i>)	May be incorporated into frontage with a portion of the façade recessed beyond the maximum front setback, and a maximum area of 1,600 square feet.
Shopfront	Permitted
Gallery	Prohibited

JJ. Section 6. Frontage Standards, paragraph F.2., Table 6.9 is hereby amended so that it now reads in its entirety as follows:

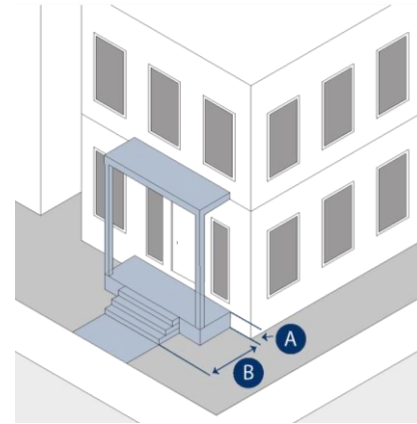
Table 6.9: Lawn Frontage Type Standards								
Site features	Applicable Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (min max)	A			•	•			16 in 48 in (measured from average grade at property line) As required to comply with flood elevation requirements
Encroachment depth (max)								
Porches, stairs, ramps	B			•				50 percent of front setback depth, min porch depth of 8 ft 100 percent of front setback depth, min porch depth of 4 ft
Bay windows, roof overhangs, cornices, windows and door surrounds, other façade decorations	B			•	•	•	•	2 ft
Stoops	B			•	•	•	•	4 ft (may be covered by a roof structure supported by columns or wall brackets)
Fences and Walls								
Front property line and side lot lines to façade of building, max height				•	•	•	•	4 ft
Along side and rear property lines behind front façade, max height				•	•			8 ft
					•	•	•	10 ft
Permitted materials				•	•		•	<i>Fences: wood picket, wood slat, wood lattice, or wrought iron style made of iron, steel or aluminum.</i> <i>Walls: brick, stone or stucco over masonry</i>
					•	•		All materials permitted
Frontage								
Walkways				•	•		•	<i>One per frontage, max width 5 ft</i>
					•	•		<i>Unlimited number and width</i>
Building foundations				•	•		•	Brick stone, or stucco pier and inset fill-panel construction, or chain wall construction with panels inset to resemble pier and infill panel construction. Infill between piers shall be brick, stone, stucco, wood lattice, or vertical wood picket and shall be recessed so that piers protrude from the infill
					•	•		No limitations

KK. Section 6. Frontage Standards, paragraph G.2., Table 6.10 is hereby amended so that it now reads in its entirety as follows:

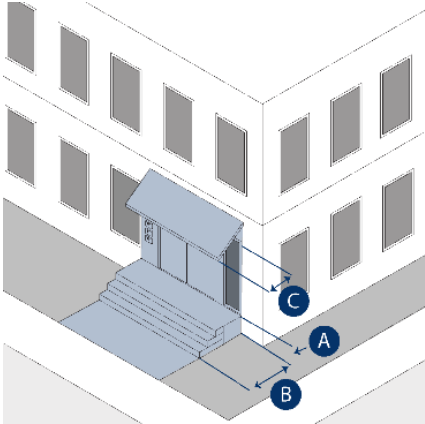
Table 6.10: Terrace Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (min max)	A	•	•	•		•	•	20 in 36 in (measured from average grade at property line) As required to comply with flood elevation requirements
Terrace standards								
Elevation (min max)	A	•	•	•	•	•	•	20 in 36 in
Required encroachment		•	•	•	•	•	•	100 percent of width of façade, at primary frontage, except where driveways are permitted
Depth (max)	B	•	•	•	•	•	•	8 ft (may extend to front property line)
Surfacing		•				•	•	Paved or unpaved, with unit masonry or concrete
			•	•				Paved or landscaped
Fences and Walls								
Where allowed		•	•	•	•	•	•	Only where necessary as part of terrace structure or to provide a safety railing
Materials		•	•	•			•	Fences: <i>Wrought iron style made of iron</i> , steel or aluminum. Walls: <i>brick, stone or stucco over masonry</i>
						•	•	All materials permitted
Awnings								
Material and Type		•	•	•	•	•	•	Fabric, fixed or movable
Primary frontage, span	Ground floor	•	•	•	•	•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors	•	•	•	•	•	•	Shall cover only a window/door and match width of window/door
Primary frontage, projection		•	•	•	•	•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Secondary frontages		•	•	•	•	•	•	Permitted only over doors, max 6 feet projection
Clearance		•	•	•	•	•	•	Min 8 ft over sidewalk or terrace, set back at least 2 ft from curb
Frontage								
Walkways			•					One per secondary entrance, max width 5 ft
Building foundations		•	•	•			•	Brick stone, or stucco pier and inset fill-panel construction, or chain wall construction with panels inset to resemble pier and infill panel construction. Infill between piers shall be brick, stone, stucco, wood lattice, or vertical wood picket and shall be recessed so that piers protrude from the infill
						•	•	No limitations

LL. Section 6. Frontage Standards, paragraph H.2., Table 6.11 is hereby amended so that it now reads in its entirety as follows:

Table 6.11: Stoop Frontage Type Standards									
Site features	Sub-districts								
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH		
Finished floor elevation, first floor (min max)	A	•	•	•				•	20 in 36 in (measured from average grade at property line) As required to comply with flood elevation requirements
Stoop standards									
Stoop required		•	•	•		•	•	•	Stoop is required to be provided <i>at the primary entrance</i> . <i>Stoops at secondary entrances may be provided</i>
Elevation (min max)	A	•	•	•		•	•	•	20 in 36 in above sidewalk grade
Depth (min max)	B	•	•	•		•	•	•	4 ft 6 ft
Encroachment, Stoop		•	•	•		•	•	•	Stoop encroach into front setback at principal entrance or be recessed into the building façade
Encroachment, Steps									Steps that provide access to porch or stoop may encroach up to property line
Coverage		•	•	•		•	•	•	Optional roof structure supported by columns or wall brackets
Fences and Walls									
General Standards				•					Iron fence with or without masonry piers at front property line is permitted
Walkways									
Walkways				•					One permitted per entrance, with a maximum width of 5 ft
Frontage									
Surfacing		•	•	•		•	•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete



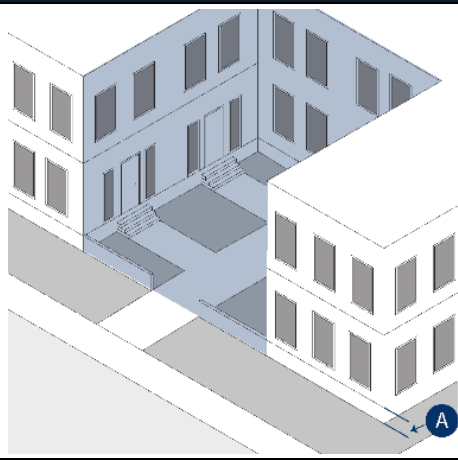
MM. Section 6. Frontage Standards, paragraph I.2., Table 6.12 is hereby amended so that it now reads in its entirety as follows:

Table 6.12: Common Entry Frontage Type Standards									
Site features	Sub-districts								
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH		
Finished floor elevation, first floor (min max)	A	•	•				•	n/a 30 in (measured from average grade along the facade) As required to comply with flood elevation requirements	
Encroachment depth (max)									
Stairs	B	•	•				•	May encroach up to property line	
Fences and Walls									
General Standards			•					Fence made of iron, steel, or aluminum that appears to be iron, with or without masonry piers, at front property line is permitted	
Awnings									
Material and Type		•	•		•	•	•	Fabric, fixed or movable	
Primary frontage, span	Ground floor		•	•		•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance	
	Other floors		•	•		•	•	Shall cover only a window/door and match width of window/door	
Primary frontage, projection	C	•	•		•	•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft	
Secondary frontages		•	•		•	•	•	Permitted only over doors, max 6 feet projection	
Clearance		•	•		•	•	•	Min 8 ft over sidewalk or terrace, set back at least 2 ft from curb	
Walkways			•					One permitted per entrance, with a maximum width of 5 ft	
Frontage									
Surfacing		•	•		•	•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete	

NN. Section 6. Frontage Standards, paragraph J.2., Table 6.13 is hereby amended so that it now reads in its entirety as follows:

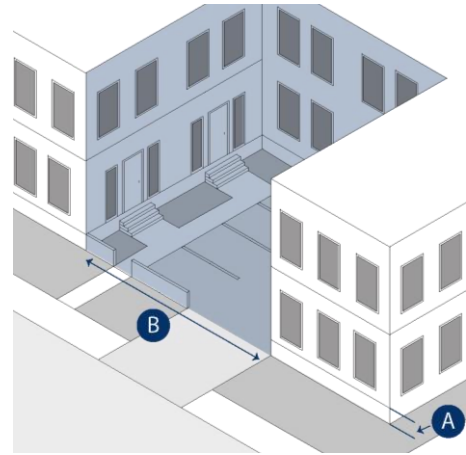
Table 6.13: Pedestrian Forecourt Frontage Type Standards

Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (min max)	A	•	•				•	18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements
Entry courtyard								
Location		•	•				•	Principal entrance
Area, max		•	•				•	600 sq ft
							•	1,600 sq ft
Design		•	•				•	Bound by building facades on at least two sides
Build out		•	•				•	The width of the entry courtyard shall count towards frontage build out (see Section 6.C.1 above)
Awnings and canopies								
Material and Type	Awning	•	•				•	Fabric, fixed or movable
	Canopy	•	•				•	Fixed, metal or wood
Awnings and canopies, primary frontage, span	Ground floor	•	•				•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors	•	•				•	Shall cover only a window/door and match width of window/door
Awnings and canopies, primary frontage, projection		•	•				•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Awnings and canopies, secondary frontages		•	•				•	Permitted only over doors, max 6 feet projection
Awnings and canopies, setback		•	•				•	Set back at least 2 ft from curb
Clearance		•	•				•	Min 8 ft over sidewalk



OO. Section 6. Frontage Standards, paragraph K.2., Table 6.14 is hereby amended so that it now reads in its entirety as follows:

Table 6.14: Vehicular Forecourt Frontage Type Standards											
Site features	Sub-districts										
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH				
Finished floor elevation, first floor (max)	A	•						•	18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements		
Entry courtyard											
Location		•						•	•	•	Principal entrance
Area, max		•						•	•	•	1,600 sq ft
Width, max	B	•						•	•	•	50% of width of facade
Design		•						•	•	•	Bound by building facades on at least two sides
Surfacing		•						•	•	•	Paved or unpaved, with unit masonry or concrete
Build out											The width of the entry courtyard shall count towards frontage build out (see Section 6.C.1 above)
Awnings and canopies											
Material and type	Awning		•					•	•	•	Fabric, fixed or movable
	Canopy										Fixed, metal or wood
Awnings, primary frontage, span	Ground floor		•					•	•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors		•					•	•	•	Shall cover only a window/door and match width of window/door
Awnings, primary frontage, projection		•						•	•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft <i>Awnings on vehicular forecourt frontages may extend 12 feet except where installed as a porte-cochere in which case the maximum depth is 30 feet.</i>
Awnings, secondary frontages		•						•	•	•	Permitted only over doors, max 6 feet projection
Awnings, setback		•						•	•	•	Set back at least 2 ft from curb
Clearance		•						•	•	•	Min 8 ft over sidewalk



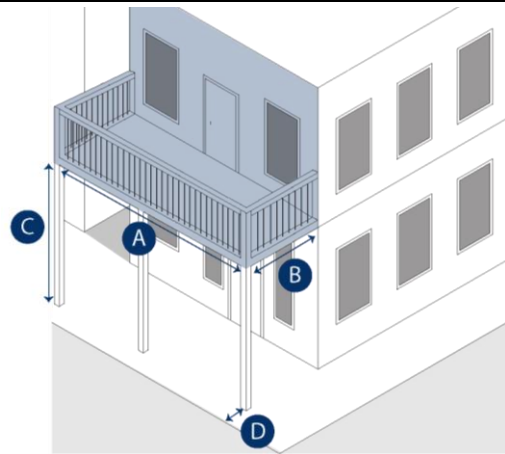
PP. Section 6. Frontage Standards, paragraph **L.2.** is hereby amended so that it now reads in its entirety as follows:

2. Standards

Development using a gallery frontage type shall comply with the standards in Table 6.15: Gallery Frontage Type Standards. *A gallery frontage may include all elements of a shopfront frontage.*

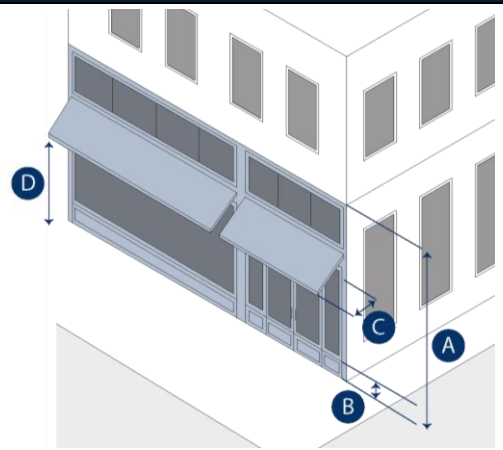
QQ. Section 6. Frontage Standards, paragraph L.2., Table 6.15 is hereby amended so that it now reads in its entirety as follows:

Table 6.15: Gallery Frontage Type Standards								
Site features	Sub-districts							
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH	
Finished floor elevation, first floor (max)	A	•	•					18 in (except 0 in at entry) (measured from average grade along the façade) As required to comply with flood elevation requirements
Gallery, general								
Depth, min.	B	•	•			•	•	7 ft
Height, min.	C	•	•			•	•	12 ft
Encroachment	B	•	•			•	•	May encroach within public right-of-way with a right-of-way permit, provided a minimum 5-ft-wide clear pedestrian path is maintained along the public sidewalk
Span, min.		•	•					80% of façade without gaps
Columns		•	•					Required, centered on spandrel beam, constructed of round metal, diameter of between 3 and 6 in, with a base, shaft, and capital. <i>Upper story columns and railing posts shall align with columns below</i>
Column, location	B D	•	•					Min. 7 ft from façade, Min. 2 ft from curb
Gallery deck, configuration		•	•					Max 9 inches thick (including all structures and surface) and exposed
Gallery deck, location		•	•					Located above top of transom windows
Gallery, materials		•	•					Upper story railings shall be painted metal
Lighting		•	•			•	•	Where a gallery interrupts street lighting, a minimum of one-half (1/2) foot candle of lighting shall be provided within the gallery
Frontage								
Walkways								One per secondary entrance, max width 5 ft
Building foundations		•	•					Brick stone, or stucco pier and inset fill-panel construction, or chain wall construction with panels inset to resemble pier and infill panel construction. Infill between piers shall be brick, stone, stucco, wood lattice, or vertical wood picket and shall be recessed so that piers protrude from the infill
						•	•	No limitations
Surfacing		•	•			•	•	<i>Frontage may be paved up to 100 percent of area, using unit masonry or concrete</i>



RR. Section 6. Frontage Standards, paragraph M.2., Table 6.16 is hereby amended so that it now reads in its entirety as follows:

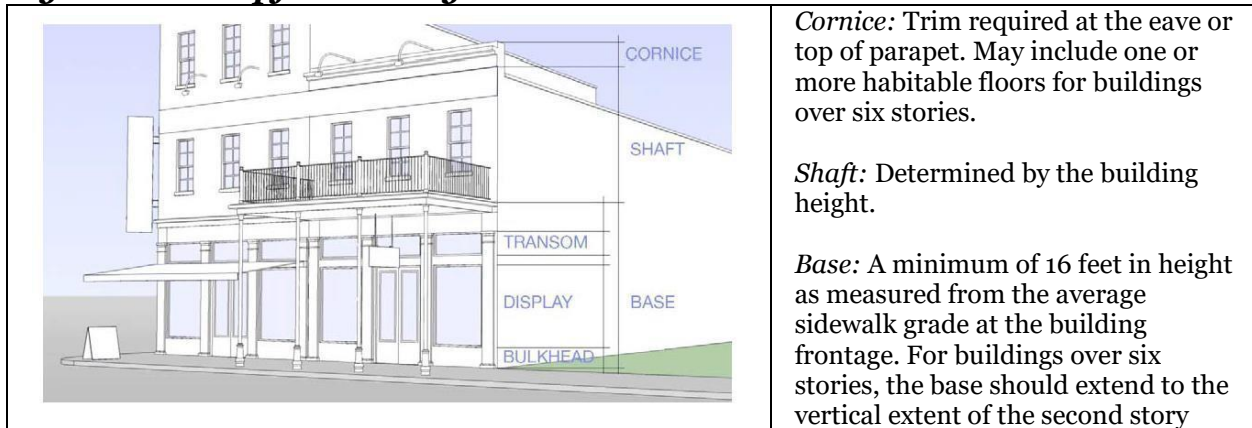
Table 6.16: Shopfront Frontage Type Standards									
Site features	Sub-districts								
	T-6	T-5 (both)	T-4	T-3	Municipal	Open	SD-WH		
Finished floor elevation, first floor (max)		•	•	•				•	18 in (except 0 in at entry) (measured from average grade along the facade) As required to comply with flood elevation requirements
Shopfront, design									
Configuration		•	•	•				•	Shall be designed with a bulkhead, display window, and transom (see Figure 6.1: Shopfront Design Illustration)
Height (min)	A	•	•	•				•	16 ft (measured from grade to top of base cornice)
Bulkhead, height (min max)	B	•	•	•				•	18 in 30 in
Transom windows, configuration		•	•	•				•	Include dividing muntins and no signage
Signs		•	•	•				•	Individual storefront signs that are mounted onto the façade shall be installed above transom window
Recessed entry		•	•	•			•	•	May be recessed up to 8 ft from façade
Shopfront, Transparency, and coverage									
Transparency of shopfront area, min.		•	•	•			•	•	Min 50% along each frontage, calculated by the width of the frontage and the area between the sidewalk grade and bottom of the second floor or roof structure
Coverage, min	Primary frontage	•	•	•			•	•	80 percent of frontage length
	Secondary frontage	•	•	•			•	•	30 percent of frontage length
Awnings and canopies [1]									
Material and type	Awning		•	•	•		•	•	Fabric, fixed or movable
	Canopy		•	•	•		•	•	Fixed, metal or wood
Awnings, primary frontage, span	Ground floor		•	•	•		•	•	Min 80 percent of frontage without gaps except between separate businesses. If awning covers only the principal entrance, shall be the width of the principal entrance
	Other floors		•	•	•		•	•	Shall cover only a window/door and match width of window/door
Awnings, primary frontage, projection	C		•	•	•		•	•	Min 6 ft projection but not beyond a terrace; an awning covering only principal entrance may extend min 3 ft
Awnings, secondary frontages			•	•	•		•	•	Permitted only over doors, max 6 feet projection
Awnings, setback			•	•	•		•	•	Set back at least 2 ft from curb
Clearance	D		•	•	•		•	•	Min 8 ft over sidewalk
Frontage									
Surfacing		•	•	•			•	•	Frontage may be paved up to 100 percent of area, using unit masonry or concrete



[1] Awnings and canopies are only permitted on shopfront frontages that are not combined with other frontage types.

SS. Section 6. Frontage Standards, paragraph M.2. is hereby amended to add *Figure 6.1: Shopfront Design Illustration* so that it now reads in its entirety as follows:

Figure 6.1: Shopfront Design Illustration



TT. Section 7. Building Design and Material Standards, paragraph A.3. is hereby amended so that it now reads in its entirety as follows:

3. A building shall use the following exterior finish materials:
 - (a) Wood or cementitious clapboard;
 - (b) Shingles;
 - (c) Board and batten;
 - (d) Stucco;
 - (e) Brick;
 - (f) Stone; *or*
 - (g) *Alternate materials approved in accordance with Section 2.B.1(d), Administrative Deviations.*

UU. Section 9. Definitions and Rules of Construction, paragraph A.2. is hereby amended so that it now reads in its entirety as follows:

2. Buildings and parking structures shall not exceed the maximum height in the applicable sub-district and location in Table 9.2: Maximum Building and Parking Structure Height, *except that a parking structure that is attached to a building or buildings for at least 50 percent of the total building perimeter and 80 percent of the*

building perimeter along a street frontage may exceed the listed height provided it does not exceed the eave height of the attached building or buildings.

VV. Section 9. Definitions and Rules of Construction, paragraph B., definition of “Fence” is hereby amended so that it now reads in its entirety as follows:

Fence

A barrier, independent of a building, made of wood picket, wood slat, wood lattice, iron or steel or aluminum that appears to be iron. In the DDD, a fence may be of chain-link only in limited conditions along side and rear yards and never in frontages. See “wall.” *A streetscreen is not considered to be a fence for purposes of the DDD.*

WW. Section 9. Definitions and Rules of Construction, paragraph B., definition of “Streetscreen” is hereby amended so that it now reads in its entirety as follows:

Streetscreen

A freestanding wall or fence/planting combination built or located along the front property line, or on the same plane with a facade for the purpose of masking views and providing a street wall. *A streetscreen is not considered a fence for purposes of the DDD.*

SECTION TWO:

The amendment of Appendix A, the Downtown Development District regulations set forth in the Unified Development Code, Chapter 64, shall upon adoption and publication as required by law, be effective on **July 20, 2026**.

APPROVED:

CITY CLERK